



PLAN-IT X
TOWN AND COUNTRY PLANNING SERVICES

Little Addington Neighbourhood Plan

Consultation Statement

June 2026

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RTPI

mediation of space · making of place

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1. Introduction

Legal Requirements

- 1.1 This Consultation Statement has been prepared to fulfil the legal requirements of Part 5, Section 15 of the Neighbourhood Planning (General) Regulations 2012 by:
- a) Detailing the persons and bodies who were consulted about the proposed neighbourhood development plan;
 - b) Outlining how these persons and bodies were consulted;
 - c) Providing a summary of the main issues and concerns raised;
 - d) Reviewing how these issues and concerns have been considered and, where relevant, addressed in the proposed neighbourhood development plan.

Consultation Process

- 1.2 Throughout the process of producing the Little Addington Neighbourhood Plan a more in-depth consultation process has been undertaken than the minimum standards set out in the Neighbourhood Planning (General) Regulations 2012.
- 1.3 The aims of the consultation process was to:
- Ensure that the Little Addington Neighbourhood Plan was fully informed by the views and priorities of local residents, businesses, and key local stakeholders;
 - Engage with as broad a cross-section of the community as possible.
- 1.4 Consultation and preparation of the plan has been led by the Parish Council, supported by Neighbourhood Plan Steering Group, comprising Parish Councillors and local residents. Professional support was provided by Planit-X Town and Country Planning Services.
- 1.5 Throughout the preparation of the Neighbourhood Plan, the Little Addington Parish Council website has been used to provide information and updates on the Plan's progress and is a source of material and evidence used in the Plan's preparation.
- 1.6 The programme of consultations undertaken throughout the preparation of the Neighbourhood Plan, is summarised below.

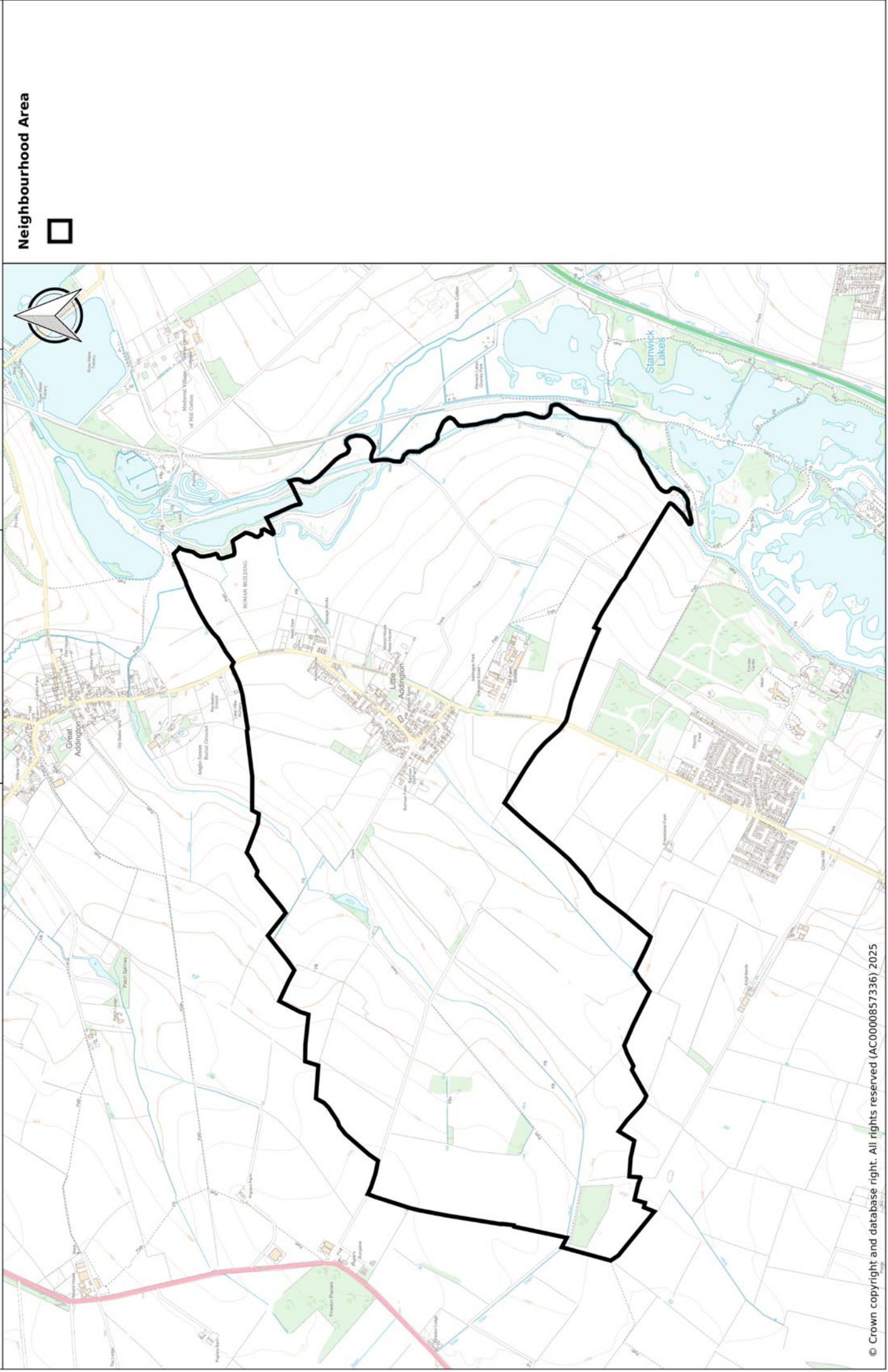
Activity	Date
Neighbourhood Plan Introductory Events	2023
Household Questionnaire Survey	March 2025
Pre-Submission Consultation on the Draft Plan	22 February – 5 April 2026

- 1.7 This Consultation Statement provides an overview of each of the above stages of consultation in accordance with Section 15 (2) of Part 5 of the Neighbourhood Planning (General) Regulations 2012.

2. Neighbourhood Plan Area

Designation

- 2.1 The Neighbourhood Plan Area comprises the whole of Little Addington Parish. The Neighbourhood Area was designated by North Northamptonshire Council on 12 April 2024.
- 2.2 A map showing the area to be covered by the plan can be viewed below.



3. Neighbourhood Plan Introductory Events

Dates	June and October 2023
Venue	Saint Mary the Virgin Church and Bell Inn, Little Addington
Format	Drop In events
Publicity	Fliers delivered to properties within the village. News post on Parish Council website.
Attendees	Approximately 30 residents

Overview

- 3.1 In June 2023, the Neighbourhood Plan Steering Group hosted a coffee morning and displayed information about neighbourhood planning and the local area in Saint Mary the Virgin Church. The aim of the event was to allow local people to find out about neighbourhood planning and decide whether they would support the preparation of a neighbourhood plan. for Little Addington. A second coffee morning was held at the Bell Inn on 7 October 2023, to explore the key issues that the neighbourhood plan needed to look at.

Who was consulted

- 3.2 The aim was to engage and consult with as many members of the local community as possible. Fliers publicising the events were delivered to all premises in the village, in addition publicity posters were displayed throughout the village. A news post for both events was placed on the Parish Council website.

How were people consulted

- 3.3 At the first event, those attending the coffee morning were provided with information about the benefits of neighbourhood planning and to have their say on environmental improvements within the village.
- 3.4 Feedback from the first event was presented to the second coffee morning event. A discussion followed on the key issues that a neighbourhood plan should address.

Issues, priorities and concerns raised

- 3.5 The first event was attended by 16 residents. All of those that expressed a view supported the preparation of a Neighbourhood Plan. 14 residents attended the second event, and a range of issues and views were put forward:

- Housing: existing and future housing stock
- Location of new development
- The Settlement boundary
- Community services and facilities
- The environment, green space and local views
- History and heritage.

How the Issues, Priorities and Concerns have been considered

- 3.6 The support for the preparation of a neighbourhood plan allowed the Parish Council to submit a successful grant application and appoint a planning consultant to support the preparation of a plan. The feedback from the event helped identify the key issues needed to be addressed by the Neighbourhood Plan and to prepare the household questionnaire distributed in March 2025.

4. Parish Wide Questionnaire

Dates	March 2025
Format	Questionnaire Survey
Publicity	Letters delivered to properties in the village. Posters displayed throughout the village. News post on Parish Council website.
Responses	109 completed questionnaires

Overview

- 4.1 In March 2025, a questionnaire survey of residents was undertaken to explore in more detail the key issues that the neighbourhood plan needed to look at. It provided an opportunity for local people to have a further say about the future of the parish and to provide an update on the Neighbourhood Plan process.
- 4.2 The questionnaire was to give an opportunity to provide comment and identify views on matters and issues faced by the Parish. It focused on the following issues and provided an opportunity to raise any additional issues not mentioned in the survey:
- Identification of the key issues for the Neighbourhood Plan
 - The value of the countryside, its use and accessibility
 - Important views and tranquillity
 - Nature conservation and biodiversity
 - Renewable energy
 - Flood risk and mitigation
 - Local green space
 - Heritage and design
 - Housing provision and priorities
 - Role of the settlement boundary
 - Housing needs, including affordable housing
 - Traffic – speeding and parking
 - Local services and facilities
 - The rural economy

Who was consulted

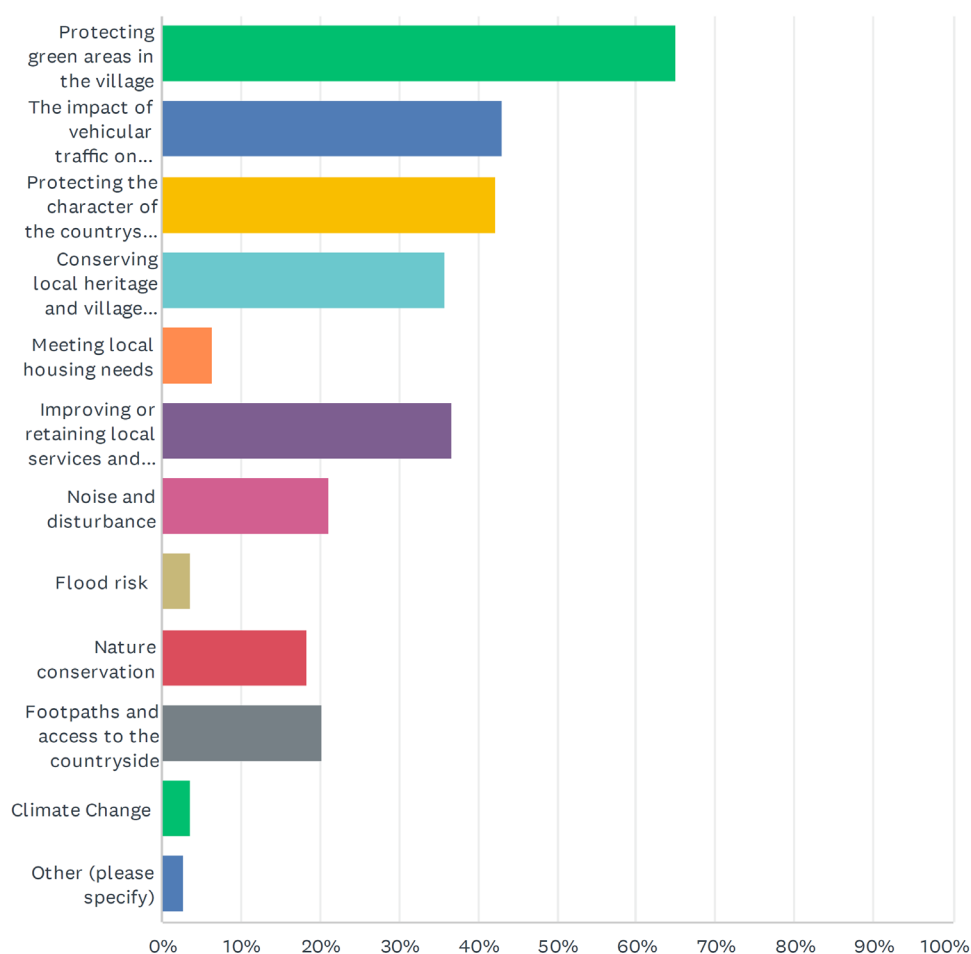
- 4.3 The aim was to engage and consult with as many members of the local community as possible. A letter inviting residents to complete the questionnaire was delivered to all premises in the village at the beginning of March, in addition publicity posters were displayed throughout the village. A news post publicising the questionnaire was put on the Parish Council website.

How were people consulted

- 4.4 The questionnaire was prepared by Little Addington Parish Council. All were encouraged to respond and complete the questionnaire online. However, arrangements were also made for those that preferred to complete a hard copy version of the questionnaire. The closing date for responses was 30 March 2025.

Issues, Priorities and Concerns Raised

- 4.5 A total of 109 completed questionnaires were received to this survey and the findings are available on the Parish Council [website](#). The key issues that came out of the survey are summarised below.
- 4.6 Residents were asked the three most important issues for the neighbourhood plan to tackle. The issue deemed to be the most important by the largest number of respondents (65%) was 'Protecting green areas in the village'. Detailed below are the responses received along with the percentage that identified each of the issues.



- 4.7 There was overwhelming support for the protection of the countryside (98%) with 87% of those responding, using this feature for walking. Other popular purposes for using the countryside included dog walking and cycling. Just under half used footpaths and bridleways on a daily basis.
- 4.8 There was strong support (99%) for the Neighbourhood Plan to identify important views. Several priorities were identified in respect of habitat improvement, ranging from trees and woodlands, hedgerows and Nene Nature Improvement Area to bat roosts and badger setts. Along with strong support (92%) for the retention of trees and hedgerows of arboricultural and amenity value.
- 4.9 With reference to pollution, the majority of responses (43%) stated there were no concerns over light pollution however concerns were raised over noise pollution. The main sources of noise and general disturbance were identified as road traffic, including cars and HGVs.
- 4.10 Support for the various potential forms of renewable energy development was more mixed. Small scale renewable energy technologies gathered the most support (80%), followed by wind turbines (28%), solar farms (23%) and biomass (12%).
- 4.11 Only 18% identified as being at risk of flooding.
- 4.12 The survey suggested the designation of Local Green Spaces in the Neighbourhood Plan and that development on these sites would not be allowed other than in very special circumstances. A number of potential Local Green Spaces were identified. Detailed below is the level of support for each of the identified spaces:
- The Green (95%)
 - Saint Mary the Virgin churchyard (85%)
 - The sheep fields (84%)
- 4.13 Several other areas of land were suggested by those who responded, as well as several buildings that the Neighbourhood Plan should identify for protection. In addition, 95% supported the protection of the village's stone walls and 90% supported the preparation of guidance on the design of new buildings.
- 4.14 A series of questions relating to housing development followed, the first relating to the number of new homes that should be planned for in the Neighbourhood Plan. The percentage of responses that supported each option are summarised below:
- None (38%)
 - 1-10 homes (34%)
 - 11-20 homes (9%)

- 21-30 homes (1%)
 - 31+ homes (0%)
- 4.15 Responses received identified there should be a focus on 2/3-bedroom homes. There was noticeable support (65%) for a Settlement Boundary to be used as a way of managing development, with a number of suggested changes to the Settlement Boundary.
- 4.16 When asked about future housing needs, 5% of respondents identified that a member of their household would expect to move within the parish within the next ten years. The majority of those expected to move would be looking for a 2 bedroomed property.
- 4.17 Support for the use of Rural Exceptions Sites for affordable housing was 34%.
- 4.18 When asked about highway issues, speeding traffic though the village was raised as a concern, alongside parking problems.
- 4.19 There was strong support for the protection of the pub (71%) and for the provision of additional services and facilities as detailed below:
- Sport facilities (10%)
 - Community hall (32%)
 - Village Shop (44%)
 - Bus Services (62%)
 - Improved Mobile Signal (40%)
 - Improved Broadband (39%)
- 4.20 When looking at economic activities there was support for home working (80%), re-use of rural buildings (54%), farm diversification (33%), and new small-scale buildings (21%). There was no support for large scale business development. 9% of respondents owned/managed a business based in the Parish but none of these identified a need for additional business space in the next three years.

How the Issues, Priorities and Concerns have been considered

- 4.21 The responses from the questionnaire were used to inform and help the preparation of the (Pre-Submission) Draft version of the Little Addington Neighbourhood Plan

5. Pre-Submission Consultation on the Draft Little Addington Neighbourhood Plan

Dates	22 February to 5 April 2026
Format	Response form
Publicity	A copy of the Pre-Submission Draft of the Plan was available to download, along with supporting documentation, on the Parish Council website. A newsletter publicising the Pre-Submission Draft of the Plan was delivered to all households within the Parish.
Responses	7 representations

Overview

- 5.1 As required under Part 5, Section 14 of the Neighbourhood Planning (General) Regulations 2012, the Parish Council undertook a pre-submission consultation on the proposed Neighbourhood Plan.
- 5.2 Within this period the Parish Council:
- a) Publicised the draft neighbourhood development plan to all that live, work, or do business within the Parishes.
 - b) Outlined where and when the draft neighbourhood development plan could be inspected.
 - c) Detailed how to make representations, and the date by which these should be received.
 - d) Consulted any statutory consultation body (referred to in Paragraph 1 of Schedule 1 of the Neighbourhood Planning (General) Regulations 2012) whose interests may be affected by the proposals within the draft neighbourhood development plan.
 - e) Sent a copy of the proposed neighbourhood development plan to the local planning authority.

Who was consulted

- 5.3 The Parish Council publicised the draft neighbourhood plan to all of those that live, work, or do business within the Parishes and provided a variety of mechanisms to both view the plan and to make representations.
- 5.4 A 'have your say' flier publicising the consultation was delivered to all premises in the village. A news post for the consultation was put

on the Parish Council website. The draft plan and all supporting documents were made available on the parish council website.

- 5.5 The Parish Council also formally consulted the bodies identified within Paragraph 1 of Schedule 1 of the Neighbourhood Planning (General) Regulations 2012. Appendix 1 sets out the bodies and organisations that were invited to make representations.
- 5.6 Representations from seven individuals or organisations were received within the consultation period. A list and summary of these representations is attached in Appendix 2 and 3.

How were people consulted

- 5.7 A flier publicising the Pre-Submission Draft of the Plan was delivered to all premises in the Parish. It provided a background to the Neighbourhood Plan, a summary of the Neighbourhood Plan's policies and how to make representations.
- 5.8 Statutory consultation bodies and other key stakeholders were contacted individually and invited to make representations on the draft Neighbourhood Plan.
- 5.9 Representations on the draft Plan were invited using a standard representation form, available on the website. Responses could also be provided using emails or made in writing.

Issues, Priorities and Concerns Raised

- 5.10 The representations received have been reviewed and the detailed summary of representations (Appendix 3) provides an explanation of why changes have or have not been made to the Neighbourhood Plan.
- 5.11 This consultation gave rise to changes to the Draft Neighbourhood Plan in relation to several issues. However, these changes have been minor, relating to clarification, consistency and additional information, and have not required major amendments to Plan policies or proposals.

How the Issues, Priorities and Concerns have been considered

- 5.12 All comments received were considered and used to develop and improve the Neighbourhood Plan and the changes made have been incorporated into the Submission Version of the Neighbourhood Plan.

6. Conclusion

- 6.1 The publicity, engagement and consultation undertaken to support the preparation of the Little Addington Neighbourhood Plan has been open and transparent, with opportunities provided for those that live, work and do business within the Neighbourhood Area to contribute to the process, make comment, and to raise issues, priorities and concerns.
- 6.2 All statutory requirements have been met and additional consultation, engagement, and research has been completed.
- 6.3 This Consultation Statement has been produced to document the consultation and engagement process undertaken, considered to comply with Part 5, Section 15 of the Neighbourhood Planning (General) Regulations 2012

Appendix 1: Pre-submission Little Addington Neighbourhood Plan – Consultees

Action Deafness
Age UK Northamptonshire
Ancient Monuments Society
Anglian Water
Canal and River Trust
Coal Authority
Councillor Gregory Wilcox
Councillor Matt Davies
Country Land and Business Association
CPRE (Northamptonshire)
Ministry of Housing, Communities and Local Government
East Midlands Chamber
ED Peck Settlement
Environment Agency
Federation of Muslim Organisations Leicestershire (FMO)
Federation of Small Businesses
Finedon Town Council
Great Addington Parish Council
Health and Safety Executive
Highways England
Historic England
Historic England
Historic England
Homes England
Irthlingborough Town Council
Midlands Rural Housing
Mobile Operators Association
National Farmers Union (East Midlands Region)
National Gas Transmission
National Grid Electricity Transmission
National Highways (Midlands)
Natural England
Northamptonshire Healthcare NHS Foundation Trust
Nene Valley Archaeological Trust
Nene Valley Community Action
Network Rail (Property)
NHS Northamptonshire Integrated Care Board (ICB)
North Northamptonshire County Council
Northamptonshire ACRE (Action with Communities in Rural England)
Northamptonshire Archaeological Society
Northamptonshire Biodiversity Records Centre
Northamptonshire Black Communities Together

Northamptonshire Police
Northamptonshire Police, Fire and Crime Commissioner
Northamptonshire Police, Northamptonshire Fire and Rescue Service
Northamptonshire Traveller Unit (NTU)
Raunds Town Council
Ringstead Parish Council
Sport England
Stanwick Parish Council
The Diocese of Peterborough
Voluntary Impact Northamptonshire
Wildlife Trust for Bedfordshire, Cambridgeshire and Northamptonshire

Appendix 2: Pre-Submission Little Addington Neighbourhood Plan – Representors

Berrys obo Trustees of the ED Peck Settlement and ED Estates Ltd

Environment Agency

Mrs Ginns

Historic England

National Gas Transmission

National Highways

Natural England

Appendix 3: Pre-submission Little Addington Neighbourhood Plan – Summary of Consultation Responses

Representor	Page	Paragraph	Policy	Representation	Comment	Recommendation
National Highways				In relation to the Little Addington Neighbourhood Plan, our principal interest is in safeguarding the operation of the SRN, the nearest routes of which is the A45 trunk road which is approximately 0.5km away from the neighbourhood plan area. Considering the limited level of growth proposed across the Neighbourhood Development Plan area, we do not expect that there will be any impacts on the operation of the SRN. We therefore have no further comments to provide and trust the above is useful in the progression of the Little Addington Neighbourhood Plan.	Noted	No change
National Gas Transmission				National Gas Transmission owns and operates the high-pressure gas transmission system across the UK. In the UK, gas leaves the transmission system and enters the UK's four gas distribution networks where pressure is reduced for public	Noted	No change

Representor	Page	Paragraph	Policy	Representation	Comment	Recommendation
				use. An assessment has been carried out with respect to National Gas Transmission's assets which include high-pressure gas pipelines and other infrastructure. National Gas Transmission has identified that it has no record of such assets within the Neighbourhood Plan area.		
Environment Agency				We have reviewed the Little Addington Parish Council Pre-Submission Draft (2021-2045), dated January 2026 and the policies within. We have no comments to make in regard to its' policies.	Noted	No change
Mrs C Ginns	18		LA3	Following reviewing the Neighbourhood plan in full, I am concerned that the plan doesn't clearly identify what are the future plans around the land area surrounding the perimeter of the village included in the actual outline area included on the plan / diagram.	Development in the countryside (land outside the Settlement Boundary as defined on Map 3) is already carefully managed by the policies of the North Northamptonshire Core Strategy (Policies 11, 13 and 26) where development is	No change

Representor	Page	Paragraph	Policy	Representation	Comment	Recommendation
					generally limited to agriculture, forestry and other rural businesses, the re-use of rural buildings, tourism, recreation and renewable energy projects.	
Historic England	40-47	8.6-8.20		The area covered by your Neighbourhood Plan includes a number of important designated heritage assets. In line with national planning policy, it will be important that the strategy for this area safeguards those elements which contribute to the significance of these assets so that they can be enjoyed by future generations of the area. If you have not already done so, we would recommend that you speak to the planning and conservation team at your local planning authority together with the staff at the county council archaeological advisory service who look after the Historic Environment Record. They	The Neighbourhood Plan identifies a Scheduled Monument, and 11 Listed Buildings have already been designated in Little Addington Parish under relevant legislation. The Neighbourhood Plan also identifies a list of Features of Local Heritage Interest (Map 9 and Appendix 3) which has been compiled for the Parish Council using the Heritage Gateway and Little Addington History	No change

Representor	Page	Paragraph	Policy	Representation	Comment	Recommendation
				should be able to provide details of the designated heritage assets in the area together with locally-important buildings, archaeological remains and landscapes. Some Historic Environment Records may also be available on-line via the Heritage Gateway (www.heritagegateway.org.uk <http://www.heritagegateway.org.uk>). It may also be useful to involve local voluntary groups such as the local Civic Society or local historic groups in the production of your Neighbourhood Plan. Historic England has produced advice which your community might find helpful in helping to identify what it is about your area which makes it distinctive and how you might go about ensuring that the character of the area is retained. You may also find the advice in "Planning for the Environment at the Neighbourhood Level"	Society 2008 information.	

Representor	Page	Paragraph	Policy	Representation	Comment	Recommendation
				useful. This has been produced by Historic England, Natural England, the Environment Agency and the Forestry Commission. As well as giving ideas on how you might improve your local environment, it also contains some useful further sources of information.		
Historic England	53		LA16	We note that a housing allocation (to include a village hall) is proposed within your plan- Land east of Irthlingborough Road, Little Addington. As identified within the SEA Scoping Report - developing the site could impact upon the setting of nearby Grade II listed buildings; therefore, impacting upon their special qualities. The site allocation Policy LA16 does not make specific stipulations for the historic environment. We therefore support the recommendation within the scoping report that if the site is taken forward Policy	The allocated site lies within 100m of three Listed Buildings to the west- Manor Farmhouse, a Manor Farm barn and Little Addington House (all Grade II). Given the distances between these heritage assets and the development site Option 2, there could be the potential for indirect adverse effects. The nearest designated heritage asset to Option 1 is a scheduled Roman Villa	Policy LA16 be modified by the inclusion of an additional criteria as follows: <i>The impact of the proposed development on nearby heritage assets is considered and any adverse impacts addressed.</i>

Representor	Page	Paragraph	Policy	Representation	Comment	Recommendation
				LA16 is strengthened in order to lessen any impacts. We recommend you seek guidance further guidance from the Local Planning Authority in this regard.	approximately 230m to the north.	
Trustees of the E D Peck Settlement and E D Estates Ltd	53		LA16	The Trustees and the Directors support your pre-submission draft and note specifically the allocation in policies LA10 and LA16 on an area that is identified on plan 10 and is land owned by the Trustees of the E D Peck Settlement. The Trustees fully support the allocations, but raise the concern that if the requirement is to construct the new Village Hall and also provide the requisite percentage of affordable housing then, depending on the specification of the new Village Hall, it will bring into question a viability discussion. I hope that the Parish appreciate developments that the Trustees have been involved in previously and the care and attention that	The Parish Council welcomes the supportive comments. As set out in paragraph 9.16, the Parish Council considers that it is unlikely that the mixed development could viably fully meet requirements such as affordable housing or other developer contributions in addition to the new village hall. However, the Howards Way development has recently boosted the local supply of affordable housing while contributions to education and	No change

Representor	Page	Paragraph	Policy	Representation	Comment	Recommendation
				is given to the design, layout and mix of properties. That desire would remain because they have had a long association with the village and, hopefully, will continue to do so.	healthcare provision would be directed away from the parish. A Viability Assessment would be required if the full developer contributions are not to be met.	
Mrs C Ginns	61	10.5-10.6		There is not a clear understanding of what industry is acceptable to take place on the industrial area/site included in village land area, as at no time have the residents who are actually affected by this site have been asked for the impact it has on them, eg. Noise, Smell and inconvenience which should be included and the limits on the type of industry allowed on this site in the future, also the hours/ days of work of the existing and potential companies on site should also be considered and included in the Neighbourhood plan.	The former Prisoner of War camp is now the site of an industrial estate which is in two parts, each with its separate access. Addington Industrial Park contains 20 business units in around seven main buildings. The Hill Farm estate lies to the rear of Addington Industrial Park and contains a similar number of business units. The two sites provide accommodation for a range of businesses	No change

Representor	Page	Paragraph	Policy	Representation	Comment	Recommendation
					including motor vehicle repairs and sales, timber frame and steel fabrication, industrial engineers, packaging supplies etc. The site is identified as a Protected Employment Area by the East Northamptonshire Local Plan Part 2 (Policy EN16) in recognition of its important role in the local economy. This means that the site is protected for employment use. The Parish Council is aware of smell issues arising business activities in the Employment Area and continues to monitor the situation. North Northamptonshire Council is responsible	

Representor	Page	Paragraph	Policy	Representation	Comment	Recommendation
					for dealing with complaints about smells, noise and smoke from industrial, trade and business premises that could be a 'statutory nuisance' (covered by the Environmental Protection Act 1990).	